

a Reserve  
for urban  
calm

serenity  
reserve  
where calm meets class



**P R A K R A T I**  
REALTORS  
Building Dreams, Delivering Trust

a reserve that  
feels like  
homecoming  
at scheme no. 140

With **no U-turns**, only forward living, this reserve is set to become a **landmark of its own**.

As from the first light to twilight winds, Serenity Reserve is designed for **prime life experiences**

From **glorious balconies to European finish**, every element evokes a sense of class. As **new epitome of intuitive living**, this reserve is designed for not just a purposeful architecture, but quiet assurance of permanence and a vision of **happier life**.

A sanctuary designed to experience the euphoria of coming back to the place you call **home**.

a reserve  
crafted  
for splendour  
& class

Luxury is felt in the ATTENTION TO DETAIL.

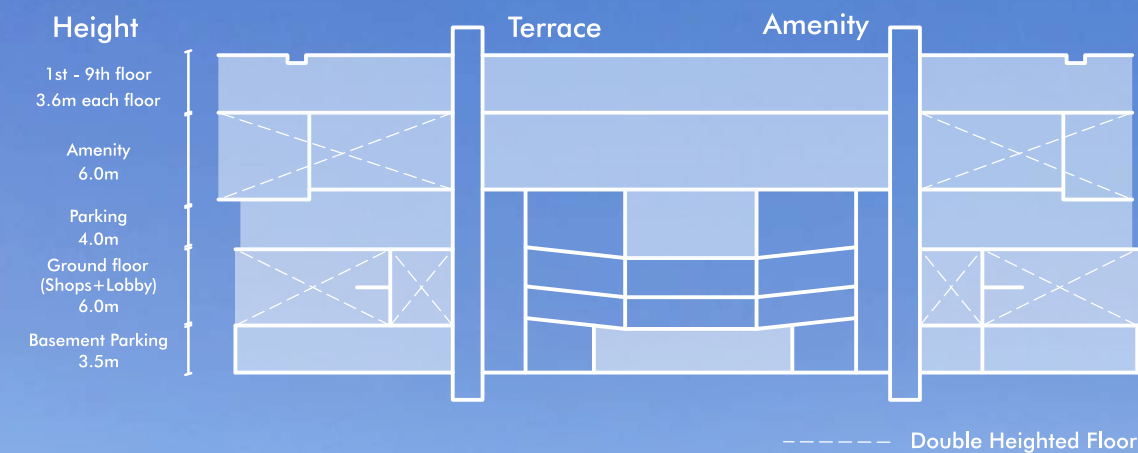
European niche materials, elegantly chosen textures and fast-paced, functional planning with naturally layered lighting, all of this comes together to create a home that feels intuitive, elevated and timeless.

'THIS IS YOUR FOREVER HOME' Because the civil framework is engineered with precision, combining the structural integrity with spatial efficiency. Serenity Reserve is a structure that is built to shine as a landmark to the new era of construction in Indore.



\*Artistic Impression

back  
view &  
key  
section



\*Artistic Impression

entrance lobby with lift  
6M HEIGHT



a reserve for  
all rhythms  
of life

A home that adapts to your mood and moment. Sunrise decks for the mindful, play areas for the young, quiet gardens for the wise.

Terrace and podium amenities invite community and calm across every age group.



## Terrace Floor Plan

Area: 17,200 sq.ft

- |               |                          |                         |                           |
|---------------|--------------------------|-------------------------|---------------------------|
| 1. Kitchen    | 4-5. Sit-Out Garden Area | 8. Heated Swimming Pool | 11. Swing Seating         |
| 2. Party Deck | 6. Pool Deck             | 9. Kids Swimming Pool   | 12. Pickleball Court      |
| 3. Bar Space  | 7. Jacuzzi               | 10. Kids Play Area      | 13. Steam (Male & Female) |

# a Reserve for every generation

Podium & terrace spaces that bring all ages together. Play zones for children, quiet nooks for reflection and socializing, terrace for everyone.

A living canvas where connection, leisure and joy unfold at every stage of life.



## Podium Floor Plan

Area: 26,755 sq.ft

Height: 6m

- 1. Pantry
- 2. Multipurpose Hall
- 3. Tree Arbor

- 4. Party Deck
- 5. Activity Room
- 6. Squash Court

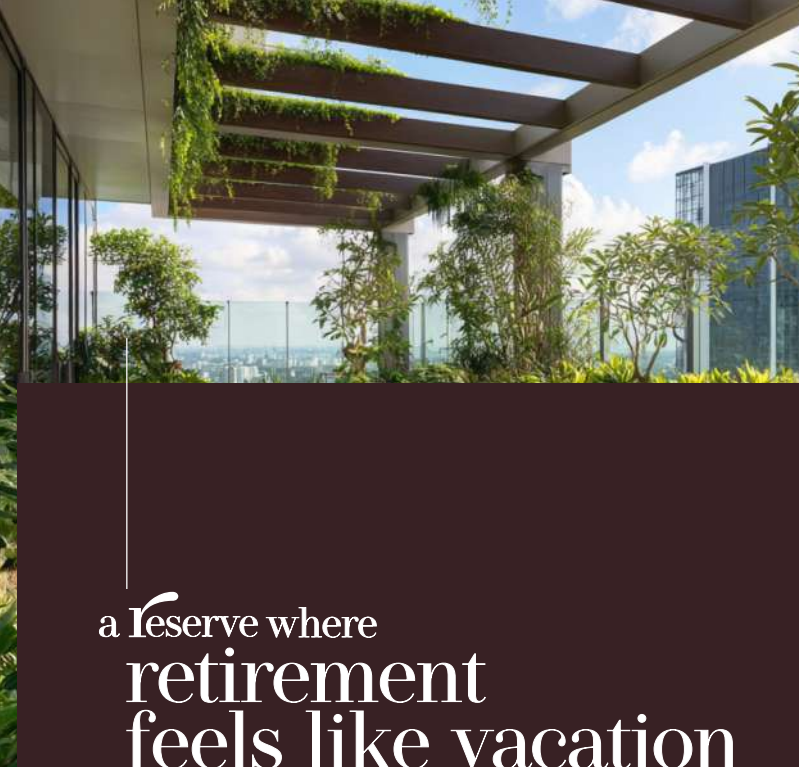
- 7. Multipurpose Lawn
- 8. Board Room
- 9. Lounge

- 10. Meeting Room
- 11. Walking Track
- 12. Soft Floor for Kids (EPDM)

- 13. Kids Play Zone
- 14-15. Open Library
- 16. Yoga Zone

- 17. Gymnasium
- 18. Indoor Games Area
- 19. Temple



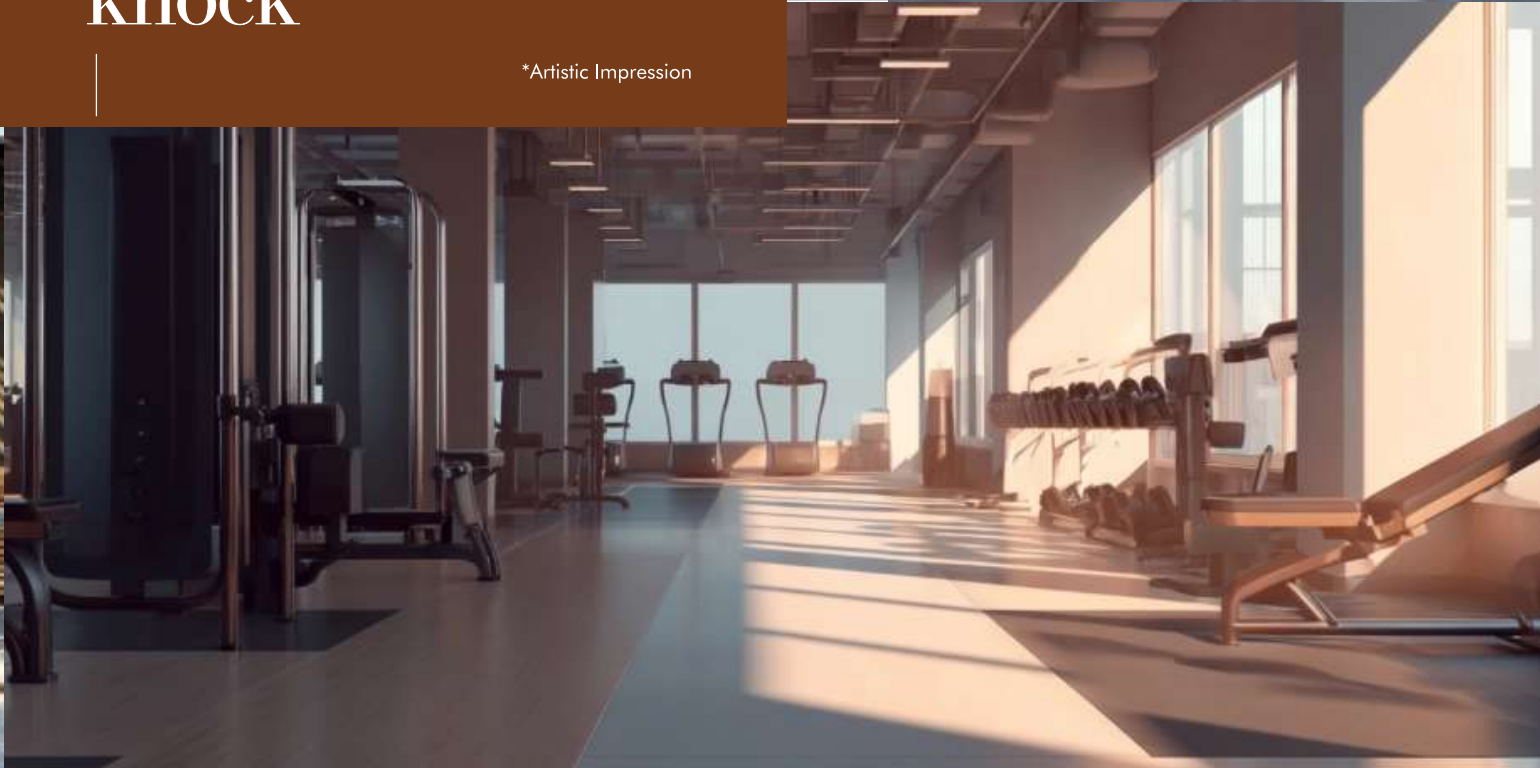
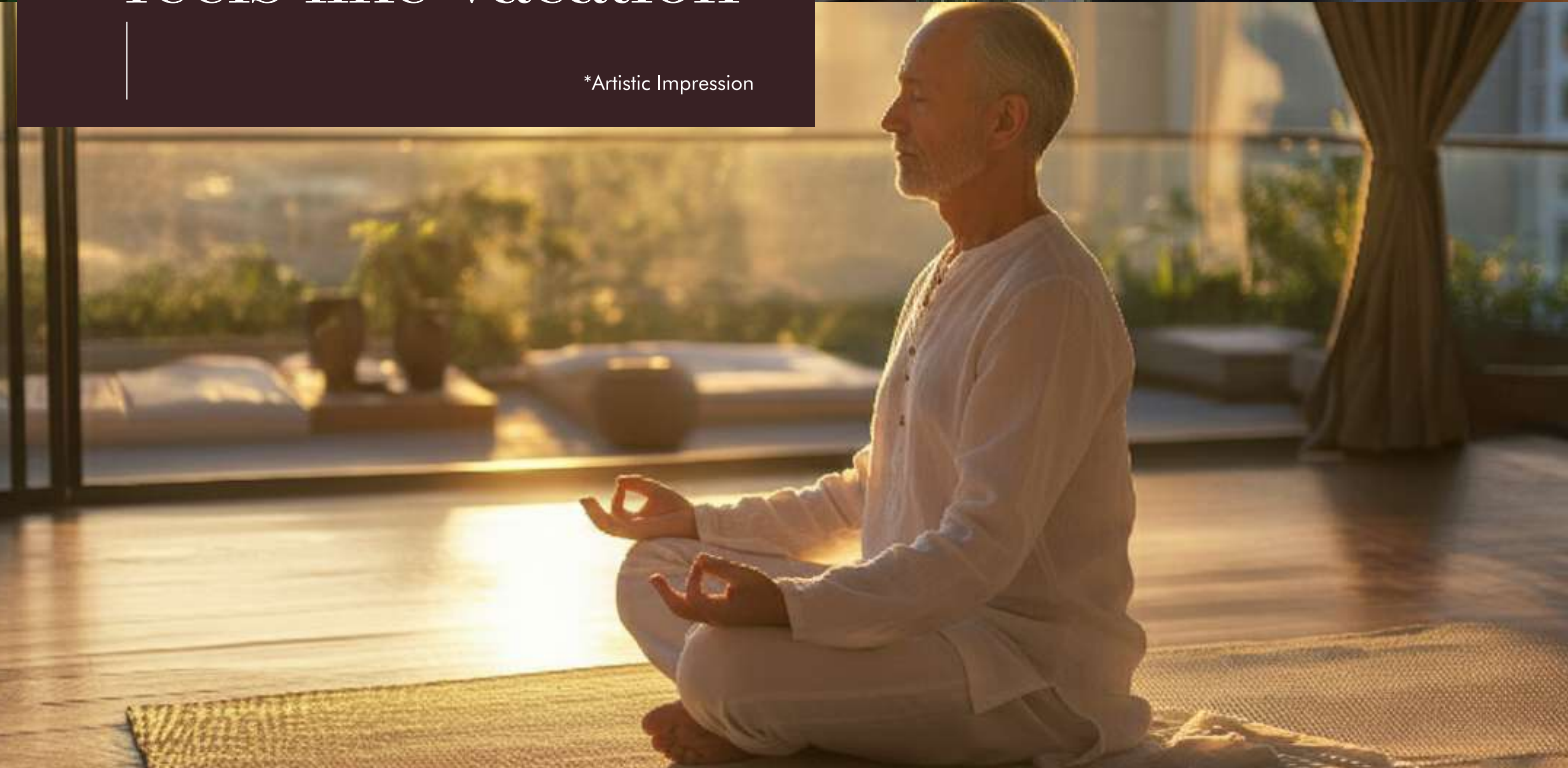


a r eserve where  
retirement  
feels like vacation

\*Artistic Impression

a r eserve where  
opportunities  
for self-discovery  
knock

\*Artistic Impression





a Reserve where  
growing up  
is curiosity and  
comfort

\*Artistic Impression



# a Reserve for high end convenience

A reserve designed for Urban Living but consciously softened by Green Solace. Serenity Reserve weaves pockets of calm into its modern planning; a curated blend of architecture, luxury and nature

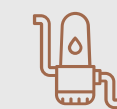
## UTILITIES



Fire Fighting System  
as per NBC Guidelines



ETP/STP Plan for  
Waste Water Filtration



Water Softener



Provision for AC Outdoor  
Units in Ventilated Ducts



Generator Power Backup  
for all Common Areas



Modern  
Security System



CCTV in all  
Common Areas



One EV Charging Point  
for Each Flat in Parking



Boom Barriers for all  
Entry and Exit Gates



MyGate App or  
Equivalent Security System



Inbuilt AC Drain  
Pipeline in all Flats



Wheel Chair  
Friendly

## LANDSCAPE



Automatic  
Irrigation System



Scented  
Plant Zones



Bird & Butterfly  
Friendly Plant Species



Year-Round  
Flowering Scheme



Sculptures in Gardens  
with Dedicated Yoga Spaces



Cooling Arrangements  
in Summer Gardens



Religious Plants  
for Pooja Rituals



Plants that Help Reduce  
CO<sub>2</sub>, Dust & Noise Pollution

a Reserve

# designed for efficiency

Layouts that reflect new Luxury Lifestyle Revolution.

Private zones are balanced with social openness, utility spaces are smartly hidden and the flow feels meditational. Here functionality meets seamless luxury.



## Typical Floor Plan

A - 101 (4 BHK)	A - 102 (3 BHK)	A - 103 (3 BHK)
B - 101 (4 BHK)	B - 102 (3 BHK)	B - 103 (3 BHK)

a lésERVE  
to map  
contentment



**3 BHK**  
Residence  
Plan

Super built-up area:  
A102 / B102 - 2,725 sq.ft  
A103 / B103 - 2710 sq.ft



a lésERVE  
to map  
future



**4 BHK**  
Residence  
Plan

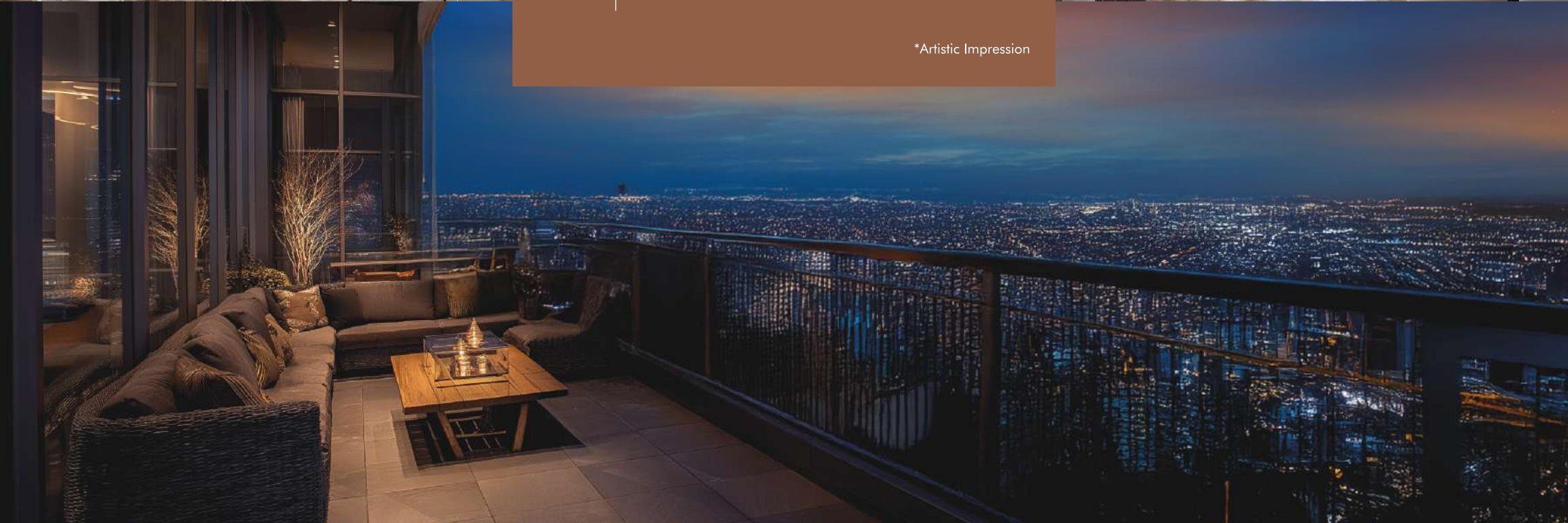
Super built-up area:  
A101 / B101 - 3,770 sq.ft





a Reserve  
embedded  
in grandeur

\*Artistic Impression



a Reserve that  
aspires to awe



## Living/ Dining

**Ceiling**  
Height of **11.3 ft**

**Floor**  
Italian marble flooring

**Walls**  
Internal plaster with lustre paint

**Entrance Door**  
Veneer finished flushed doors with a height of 9 ft. Hafelle or equivalent brand handles and hardware

**Windows**  
Aluminum sections with sliding glass



## Bedrooms

**Ceiling**  
Height of **11.3 ft**

**Floor**  
Italian marble flooring & wooden flooring

**Walls**  
Gypsum finished interior walls with lustre paint

**Entrance Door**  
Veneer finished flushed doors with a height of 9 ft. Hafelle or equivalent brand handles and hardware

**Windows**  
System windows made with high performance aluminium



## Kitchen

**Ceiling**  
Height of **11.3 ft**

**Floor**  
Quartz based agglomerated marble flooring

**Walls**  
Gypsum finished interior walls with lustre paint

**Door**  
Aluminum section

**Counter**  
Quartz based marble platform & dado above platform with stainless steel sink

**Fitting/ Fixtures**  
Provision for water purifiers & drain board, exhaust fan



## Washrooms

**Floor**  
Imported marble flooring and wall dado in attached toilets

**Walls**  
Imported marble dado

**Sanitary ware/ CP Fitting**  
Toto/ Grohe or equivalent sanitary fittings

**Ceiling**  
Grid ceiling with Gypsum tiles

**Doors**  
Veneer finished flushed doors with Hafelle or equivalent brand handles and hardware with a height of 8 ft



## Balcony

**Ceiling**  
Height of 11.3 ft

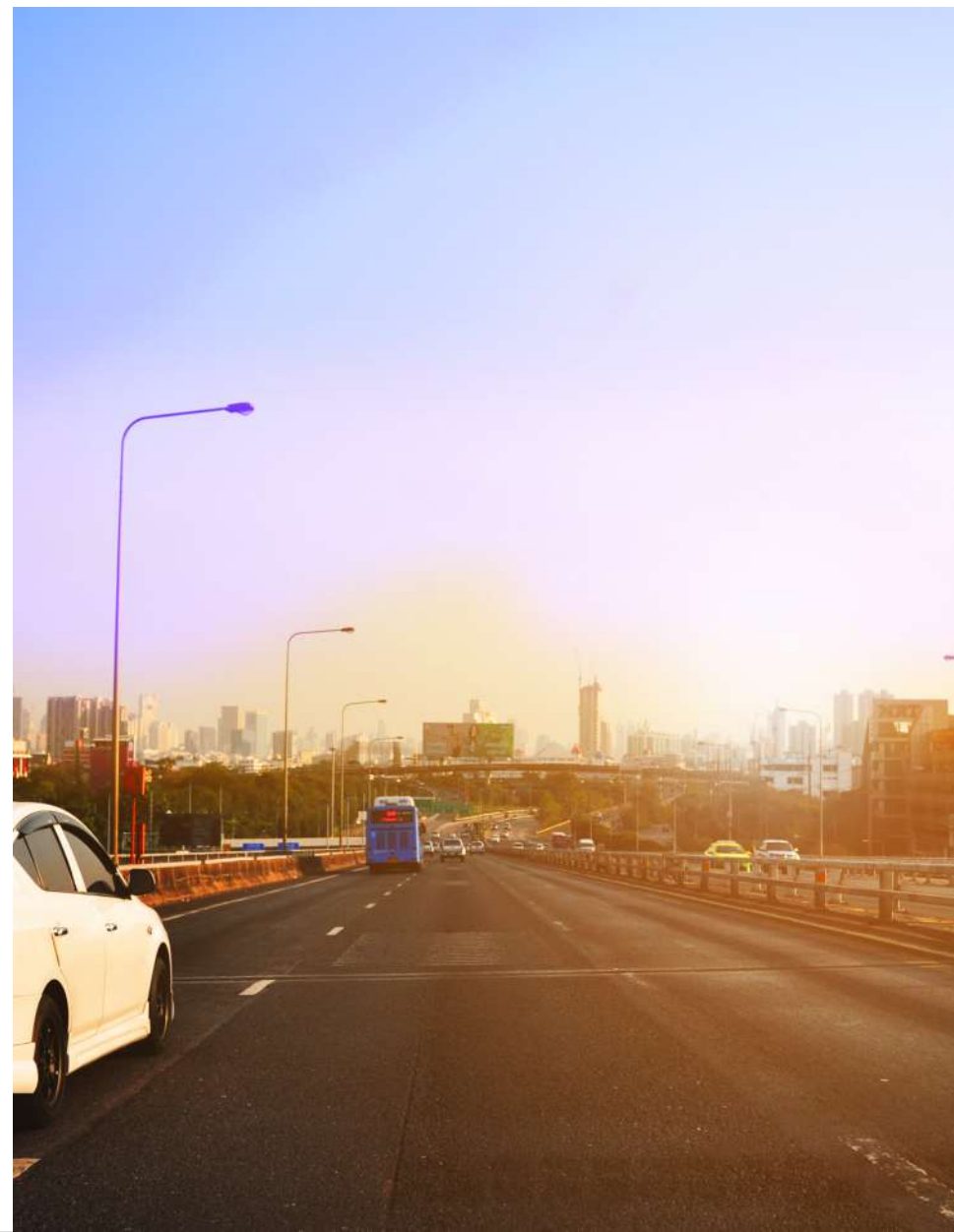
**Floor**  
Vitrified tiles

**Walls**  
Apex ultimate paint or equivalent

**Railing**  
Glass railing with hand rail

a reserve at  
**the centre of  
 growth**

Located in the booming Scheme No. 140 where accessibility is new luxury. **Serenity Reserve** as a high rise offers a unique proposition of urban convenience, promise of appreciation and multitudes of investment potentials. A location that without compromising on growth ensures a lifestyle woven in urban calm.



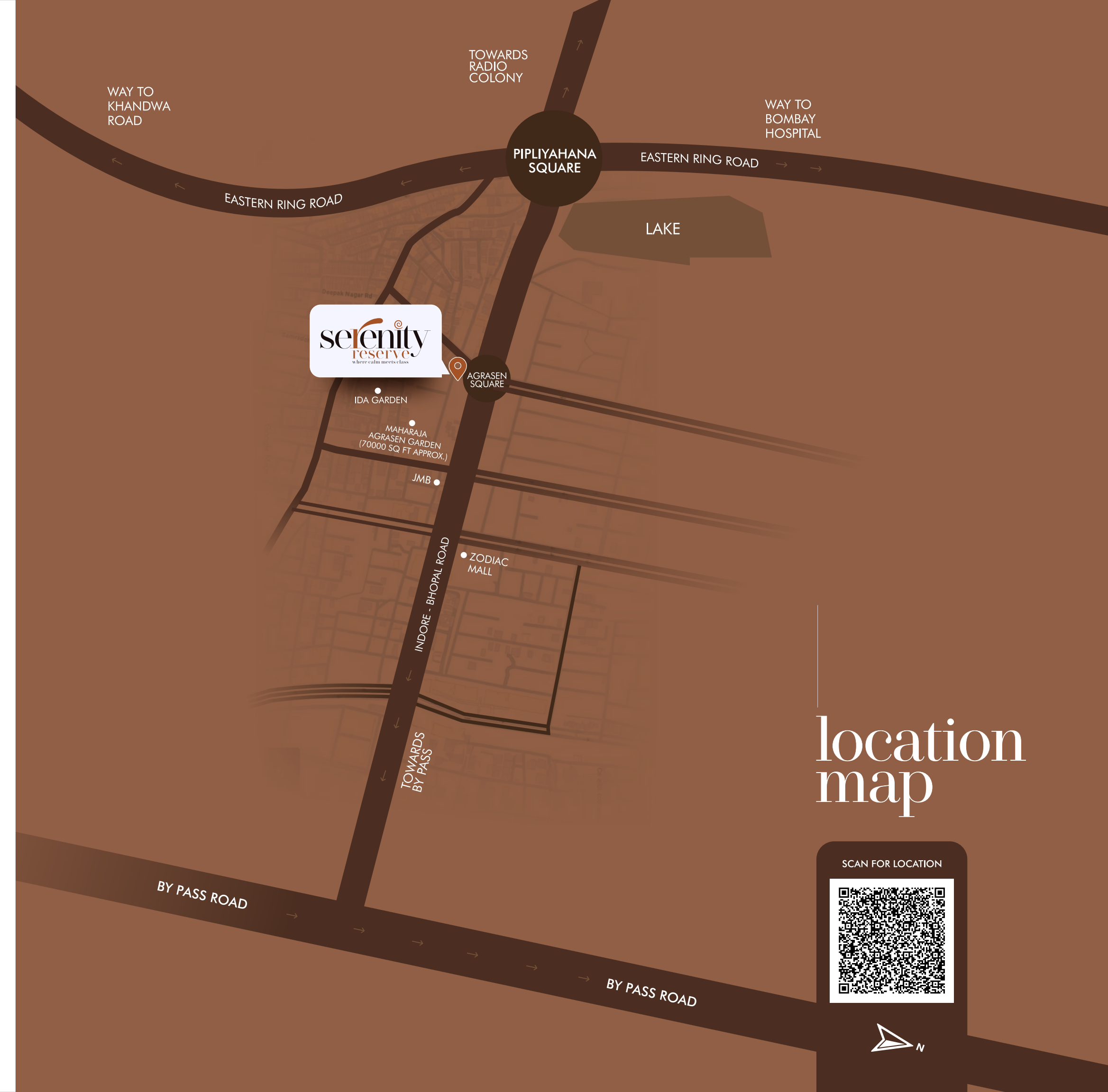
**Landmarks**

- 1 min District Court
- 1 min Zodiac Mall
- 2 mins Agarwal Public School
- 8 mins Daly College
- 10 mins Phoenix Citadel Mall
- 10 mins MY Hospital
- 15 mins Bombay Hospital
- 20 mins Rajwada



**Connectivity**

- 2 min Ring Road
- 5 mins AB By Pass Road
- 10 min Proposed Bhopal-Indore Expressway
- 15 mins Railway Station
- 40 mins Airport



location  
 map

SCAN FOR LOCATION



# faces behind the legacy, that delivers



With a legacy spanning manufacturing, hospitality, exports and FMCG, the founding team behind Prakrati Realtors Pvt. Ltd. brings together some of Central India's most respected names in business known for their precision, process-first mindset and customer trust built over decades.

Bound not only by vision, but by over 35 years of strong and successful association the Agrawal and Neema families share a deep-rooted bond. One that has now evolved into a shared dream.

Mr. Sanjay Agrawal and Mr. Vinod Agrawal, the force behind Naughty Foods Pvt. Ltd., have led one of India's most admired confectionery brands for over 28 years, backed by a 750+ strong team and a 3 lakh sq. ft. manufacturing facility. With a footprint that spans India and global markets, their journey has been defined by scale, integrity and consistency in delivery.

Mr. Rahul Neema and Mr. Rupal Neema, seasoned entrepreneurs whose ventures span over five decades and reflect excellence across sectors. They serve as directors in legacy trading firm Shreenath Pipe Agency and automobile components manufacturing leader R.R. Tubes Pvt. Ltd., while also helping Ruan Mercantile Pvt. Ltd., a prominent import-export company. Their foray into hospitality includes roles in Assure Gourmet LLP which operates Berlin restaurant, Affairs Corp. that runs Zoku a pan-Asian dining brand and Surya Hospitality Pvt. Ltd. which owns the renowned Farzi Café.

Together, they form a coalition built not just on diverse expertise but on a shared ethos of organised execution, product-led experience and long-term value creation. This is not just a company. It is a legacy reborn. Redefining how Indore lives, builds and believes.



**Mr. Sanjay Agrawal**

Managing Director,  
Naughty Foods Pvt. Ltd.  
Director, Prakrati Realtors Pvt. Ltd.



**Mr. Vinod Agrawal**

Director, Naughty Foods Pvt. Ltd.  
Director, Prakrati Realtors Pvt. Ltd.



**Mr. Rahul Neema**

Director, Shreenath Pipe Agency,  
R.R. Tubes Pvt. Ltd.,  
Ruan Mercantile Pvt. Ltd.,  
Assure Gourmet LLP (Berlin restaurant),  
Affairs Corp. (Zoku – Pan Asian restaurant),  
Surya Hospitality Pvt. Ltd. (Farzi Café),  
Prakrati Realtors Pvt. Ltd.



**Mr. Rupal Neema**

Director, Shreenath Pipe Agency,  
R.R. Tubes Pvt. Ltd.,  
Ruan Mercantile Pvt. Ltd.,  
Assure Gourmet LLP (Berlin restaurant),  
Affairs Corp. (Zoku – Pan Asian restaurant),  
Surya Hospitality Pvt. Ltd. (Farzi Café),  
Prakrati Realtors Pvt. Ltd.

## why real estate?

From the visionaries behind **Basant Vihar Colony** (developed as a cooperative society) and **Prakrati Corporate** on Y.N. Road, in This new chapter into real estate is not a detour, it's a deliberate evolution.

Real estate, despite its scale, remains one of India's most unorganised sectors. Having built process-led, product-first businesses for decades, Prakrati Team saw a clear opportunity:

- To bring structure where chaos dominates.
- To replace guesswork with governance.
- To bridge aspiration and execution honestly.

With an existing legacy of excellence and cross-industry success, Prakrati Realtors Pvt. Ltd. enters this space to **redefine how real estate is envisioned, built and delivered in Central India.**

## the promise of Prakrati

We promise to fulfill dreams  
Every detail delivered with care,  
Every commitment upheld with conviction.



a Reserve

# curated by an impeccable team

Serenity Reserve stands apart not by chance, but by design and by designers. Behind its precision lies a team meticulously handpicked from the fields of architecture, landscaping, infrastructure, and material planning.

A collective of visionary minds came together to shape a benchmark project that redefines real estate potential in Indore. This is more than a development; it is a crafted statement in stone, soil, and structure.

PROJECT BY



DESIGNED BY



CONSTRUCTION BY



STRUCTURE DESIGN BY



MEP CONSULTANT



LANDSCAPE BY



RERA No. P-IND-25-5918  
www.rera.mp.gov.in



# serenity reserve

where calm meets class

## a project in its own league

For More Information Contact us  
Prakrati Realtors Private Limited

📍 Plot No. RCM 5, IDA Scheme No. 140 Main Road,  
Maharaja Agrasen Square, Indore

✉️ [Info@prakratirealtor.com](mailto:Info@prakratirealtor.com) ☎️ 626-99999-00, 626-22222-11

SCAN FOR FACEBOOK



SCAN FOR INSTAGRAM



SCAN FOR WEBSITE



SCAN FOR LOCATION



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